

# Persimmon Country Club Community Homeowners Association

May 2014

## Annual Owners Meeting



All owners are invited and encouraged to attend the Annual Persimmon Owners Meeting on May 20, 2014 at 6:30 p.m. The meeting will be held in the Banquet Building of the Persimmon Country Club in one of the conference rooms. Cookies and coffee will be served as we meet together with long-time and new neighbors and friends.

The Annual Meeting is an opportunity for the Board to inform owners of the state of our homeowners' association. The focus of the meeting will be reporting to owners what has been accomplished in the past year, the condition of our finances and the election of HOA board members.

Official notice of the May 20 meeting, along with an agenda and a proxy form for those who cannot attend, are enclosed. Actions taken at the Annual Meeting are only official if a quorum is in attendance, so it is very important that you attend the meeting or submit a signed proxy. It is hoped that as many owners as possible will take advantage of this once-a-year opportunity to meet together as neighbors. We look forward to seeing you there

## NEIGHBORHOOD MAINTENANCE AND IMPROVEMENTS

As it prepares for our upcoming Annual Persimmon Owners Meeting, the HOA board once again reviews work that was accomplished in our neighborhood over the past year. Here is a list compiled by the board (in no particular order):

Our neighborhood's signature maple trees along Butler Road were carefully pruned to help keep them healthy.

Our contract with Willamette Landscape Services, Inc. was renewed for another year. There was no increase in fees for the HOA and only minimal increases for the Villas and the Masters. Landscape liaisons between Willamette and our community are: Michael Patrick, HOA areas ([michael@piazzapatrik.com](mailto:michael@piazzapatrik.com)); Susan Spencer, the Masters ([susanspractical@gmail.com](mailto:susanspractical@gmail.com)); and Larry Wecker, the Villas ([weckersheryl@msn.com](mailto:weckersheryl@msn.com)).

New landscaping was installed in several common HOA areas in an effort to not only maintain landscaping in established areas but to enhance and beautify the common areas that may be overgrown.

New plants were added in bare spots in HOA landscaped areas along the north side of Butler Road and also on the south side of Butler at Augusta Way and at Augusta Loop.

Barkdust was spread along both sides of Butler Road and at multiple common area sites.

The battle against the blackberry bushes continued as follow-up spraying of those bushes was done at many common sites. At some of the sites the dead bushes were mulched.

### Your Board of Directors

**Steve Lewis**  
President

**Chris Lyons**  
Vice President

**Cindy Hansen**  
Secretary

**Dennis Anderson**  
Treasurer

**Susan Spencer**  
Director

**Michael Patrick**  
Director

You may contact Board members either via the Association's web site

[www.PersimmonCCC.org](http://www.PersimmonCCC.org)

or via Community Management, Inc.  
503-233-0300



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Decals were added to the doors of cars driven by Community Safety Patrol officers. This is to help our neighborhood, and especially visitors, recognize the presence of our security patrol.

Selected small trees and suckers were removed in the tract above 38<sup>th</sup> Drive. Bushes, suckers and weeds were also trimmed back south of Butler Road along Regner Road to give us better visibility as we leave the neighborhood at that exit.

Landscaping was improved and expanded on the south side of the entrance at Butler Road. There is no sprinkler system there so plants must be weather tolerant. The City of Gresham replaced the rotting barrier at the top of Honors Drive.

## Financial Outlook



The financial state of the HOA appears strong. As you were informed in December, careful budgeting and spending in the past allowed the Board to lower annual fees from \$900 to \$800 for 2014. The balance of the budget this year will be funded by carry-over cash from prior years. The Board is grateful to all homeowners who paid their dues on time. Our dues fund vital services in our community such as security, the management company, landscaping, general maintenance, attorney fees, taxes and utilities. When everyone pays their dues then our budgeted obligations can be met and expenses are shared evenly by all neighbors. For those few who have not yet paid, dues are now past due so you will be contacted.

We are especially grateful to our past Treasurer, Patti Junginger, who worked diligently at collecting past due fee payments. Thanks to her efforts, our accounts receivable for delinquent dues decreased significantly and fewer accounts were referred to an attorney or collection agency. This saved everyone money. Thank you, Patti!

## Our Association Web Site

Of interest to all community members is the Persimmon Country Club Community website online at [www.persimmonccc.org](http://www.persimmonccc.org). This website is maintained on our behalf by Community Management Inc. and contains helpful information such as our CC&R's, Design Review Request forms, Board member names and contact information, dates of future Board meetings and Board meeting minutes.



Language in the Design Review Handbook has recently been changed or added regarding the removal of trees, the installation of fences and the use of PODS. The entire Design Review Handbook, along with the changes, may also be viewed on the website.

## New Design Handbook Language

At the April Board Meeting, the Board made a change to the Design Review Handbook regarding PODS (portable on demand storage) units at Persimmon.

**NEW LANGUAGE:** Home Appearance Goals and Standards on Page #13 add a #25 ---- **Temporary Structures or Storage Units** - No structure, trailer or dumpster of a temporary character, including PODs (hereinafter collectively referred to as a structure) shall be placed on a homeowner's lot, or the adjacent street, except: (a) in an emergency situation, in which case the structure must be removed within 48 hours of placement; or (b) the homeowner has received prior approval from the Design Review Committee; and (c) in either case, the homeowner must comply with any rules or regulations established by the City of Gresham. The optimal location for the structure is the homeowner's lot. If that is not feasible, the unit must be placed in a way that minimizes the impact on neighborhood traffic flow."



## COMMUNITY SAFETY PATROL

Community Safety Patrol provides at least one security officer on foot or in a marked vehicle to conduct random security patrols. Our contract with them was renewed last year for a total of five years. There was no increase in fees and no decrease in hours of service. The security firm also monitors the CCRs, and there was a small increase for this service. The following are a few of the security benefits provided by Community Safety Patrol:

- Investigate suspicious vehicle(s) and person(s)
- Random security patrols of the community
- Alert homeowners when unsecured areas and vehicles are found
- Conduct vacant house checks and secure packages until homeowner returns
- Respond to residential alarms
- Trespass individuals from community as outlined in the Trespass Enabling Agreement
- Report street light damages or outages to PGE
- Report maintenance/safety matters to HOA or management company
- Respond to noise complaints, animal-related calls or other disturbances
- Daily checks of the community mailboxes, common areas and properties
- Clear various road hazards
- Resolve parking complaints before police are utilized

The security patrol cannot be everywhere at once, so please report any suspicious activity to them. Contact information for Community Safety Patrol is: 500 S. E. Butler Road, 503-674-3274, [marius@cspatrol.com](mailto:marius@cspatrol.com)

## Spring Home Maintenance Musts

To do a thorough job of spring home maintenance and cleaning, follow these easy and smart routines.

### EXTERIOR INSPECTION

"It's good to do a walk-around of your property, especially after a storm," says Curtis S. Niles, Sr., owner of Armored Home Inspections, president of the National Association of Home Inspectors (NAHI). "Winter is tough on roofs and chimneys." It can also take its toll on windows, walls, foundations, gutters and decks.

**Roof.** You don't need to climb up there yourself; with binoculars and a keen eye, you can probably spot trouble. Do you see any shingle-shift, suggesting that some fasteners may have failed and need replacing? Any cracked or missing shingles? What about nail-pops? "We call them eyebrows," Niles explains. "It's when nails push the tabs of the shingles up, allowing water to get in where those nails are coming through." All will need to be addressed to keep your roof at peak performance.

**Exterior Walls.** Whether you have wood siding, stucco or composite, look for trouble spots, especially under eaves and near gutter downspouts. Water stains normally indicate that your gutters are not adequately containing roof runoff. If you have wood siding, check for openings, damaged areas or knots that have popped out, making way for carpenter ants, woodpeckers and other critters that may nest in or burrow through.

**Gutters.** While it's a job many of us would love to ignore, gutter cleaning is an important twice-a-year ritual all homeowners need to adopt. When clogged gutters overflow, they can cause ice dams on the roof that force water inside your house. They can also get so heavy that they'll pull the gutters loose and rot the trim and siding. Even if your gutter doesn't fill to overflowing each season, leaving any decaying debris in there is an invitation to carpenter ants and mosquitoes. If you have a lot of trees around your house, you might want to clean your gutters even more frequently.

**Foundations.** When inspecting the exterior of your home, be sure to examine the foundation from top to bottom for masonry cracks. "Routine caulking by homeowners won't do the job," says Niles. "Hire a foundation specialist who can employ a two-part epoxy injection system that will bond cracks chemically," he adds.

**Windows.** Leakage around windows will admit warm summer air and let cooled indoor air escape, so be sure to check that any caulking and weather stripping you have in place has remained intact. If you experienced condensation inside the glass on double- or triple-glazed windows during the winter months, the weather seal has been compromised, and either the glass or the window will need to be replaced.

Spring-clean your windows—inside and out—with a store-bought or homemade window cleaner (one cup rubbing alcohol, one cup

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water and a tablespoon of white wine vinegar will work just fine) and either a squeegee or a soft cloth. Never use abrasive cleaners or a high-pressure spray washer. You don't want to scratch the glass or crack the caulking around each unit. If screens were on all winter, remove and clean them with mild detergent. Lay them on a dry surface, like a driveway to air-dry before putting them back on.

## **INTERIOR MAINTENANCE**

**General Cleaning.** Spring is a good time to clean areas of the house that often go neglected. Dust or vacuum chair rails, window casings, tops of wall-mounted cabinets and ceiling fans. Launder or dry-clean fabric draperies and use a damp cloth to clean wood and vinyl blinds. Vacuum upholstered furniture and mattresses and consider renting a carpet cleaner—anything you can do to remove settled dust, mites, and allergens will make for a cleaner, and healthier, home.

If you detect grease residue in the kitchen, consider washing cabinets, backsplashes and walls with warm water and mild detergent. The same is true in the bathroom, where soap residue and fluctuations in heat and humidity combine to create the perfect breeding ground for mold and mildew. While you're cleaning tile, look for areas of worn or missing grout, as these may lead to more serious water damage if not repaired.

**Air Conditioning.** Just as you readied your furnace for fall, now is the time to make sure that air conditioning units are in good working order for the warmer months ahead. Change the filter, check hose connections for leaks, and make sure the drain pans are draining freely. In addition, vacuum any dust that has settled on the unit and connections; over time it can impact the air conditioner's effectiveness. If you suspected problems with the efficiency or performance of the unit last summer, now is the time to call in a professional to check it out.

**Attics.** Search for signs that indicate insects and critters have colonized. Also, search aggressively for mold, which often takes the form of "gray or black blotches that look like staining," according to Tim Gentry, vice president of technical services, DaVinci Roofscapes. Proper insulation and good ventilation will deter mold growth in the attic, so take action now to prevent the problem from developing in the warmer months ahead.

**Basements.** The basement—prone to dampness and insects—must be part of any thorough seasonal maintenance effort. Dampness suggests higher than normal relative humidity, inadequate ventilation and the need for a dehumidifier. Check the base of poured-concrete walls. "Cracks start from the bottom up, not the top down," Niles points out. "If there's water penetration, it'll show at the bottom of those cracks." And be sure to use a flashlight to examine exposed framing. "If you see even a quarter-inch or so of tunneling on the wood," says Niles, "call a pest control company immediately."

**Leaks.** Spring is a good time to check for leaky faucets, clogged drains and sweaty pipes. Check under the kitchen and bathroom sink to make sure connections on pipes and hoses are properly sealed, and look for any wetness around the dishwasher that could signal an existing or potential problem. The same is true of your laundry room; check washer machine hoses for cracks, bulges or dampness. The same is true for hot water heaters, which may show sign of corrosion and leaks.

## **OUTDOORS**

**Lawns.** Rake the lawn to remove any branches, debris and leaves that you might have missed in the fall; they can suffocate the grass beneath. During the winter, soil compaction, along with chemical changes altering your soil's PH, may have left your lawn vulnerable to weed growth and other issues. Even if you can't see weeds, they are more than likely waiting for optimum conditions to propagate. If you want to prevent them from germinating, consider an organic herbicide; fertilizers are better suited to the fall.

Make sure outdoor water systems—pipes, faucets, and in-ground sprinkler systems—are in working order. Once the ground thaws completely, start preparing new garden beds for summer plants.

**Decks and Patios.** Look for warped, loose or splintered boards, and do a good sweep to remove any leaves and debris accumulated in the space between boards. "Whether it's wood, plastic or composite, a deck should be cleaned every year to extend its life," says Chuck Harris, owner, Custom Lumber Manufacturing Co. If the finish on your wood deck is faded or worn, now is the time to clean, stain, and reseal it. If you have composite decking, follow manufacturers' recommendations on seasonal care. The same is true for wood and composite fences, pergolas, trellises and other structures. If you have a stone patio, a simple hose down provide be all the maintenance required (unless you detect moss or staining, in which case a more serious cleaning may be necessary).

For more information check out these sites:

<http://www.hgtv.com>

<http://www.bobvila.com>

<http://www.diynetwork.com>